



Lyra Drive extension to Powell Road

Powell Road

FrontRoom Site

SWEETWATERS  
pleij  
ATLAS TAVERN  
Kitchen Social  
HOME2 SUITES BY WALTON

NORTH PARK PLACE  
264 units

POLARIS place  
224 units

270 units

HAVERTYS

Gemini Place

City BRICKHOUSE  
ROW HOUSE

CAMBRIA  
Hotels & Suites

IKEA

TOPGOLF

Ikea Way

DRURY HOTELS

RelayHealth

INTERSTATE 71

The Pointe at Polaris Phase II  
Bank of America 60,000 SF of  
140,000 SF building  
250 apartments  
Hotel

Mc  
Graw  
Hill  
Education

METTLER TOLEDO

CHASE

Corporate  
Headquarters  
11,000  
employees

The Edge at  
Polaris  
Planned  
Residential

310 units

LOWE'S

TARGET



USE OF THESE DRAWINGS IS LIMITED TO THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED ON THESE DOCUMENTS. NO OTHER PERMITS WITHOUT PROFESSIONAL SEAL AND SIGNATURE OF ARCHITECT.  
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PROJECT:  
**Tenant Improvement  
Front Room Furniture Store  
at Polaris Park  
Antares Ave  
Columbus, OH**

PREPARED BY:  
**Front Room Furniture Store  
Furnishing  
1607 Denbigh  
Columbus, OH  
43220**

SHEET INFORMATION:  
**Floor Plan**

PROJECT NO. \_\_\_\_\_  
SCALE \_\_\_\_\_  
ISSUED FOR \_\_\_\_\_  
DATE \_\_\_\_\_  
REVISIONS \_\_\_\_\_  
BULLETIN 2 REVISIONS

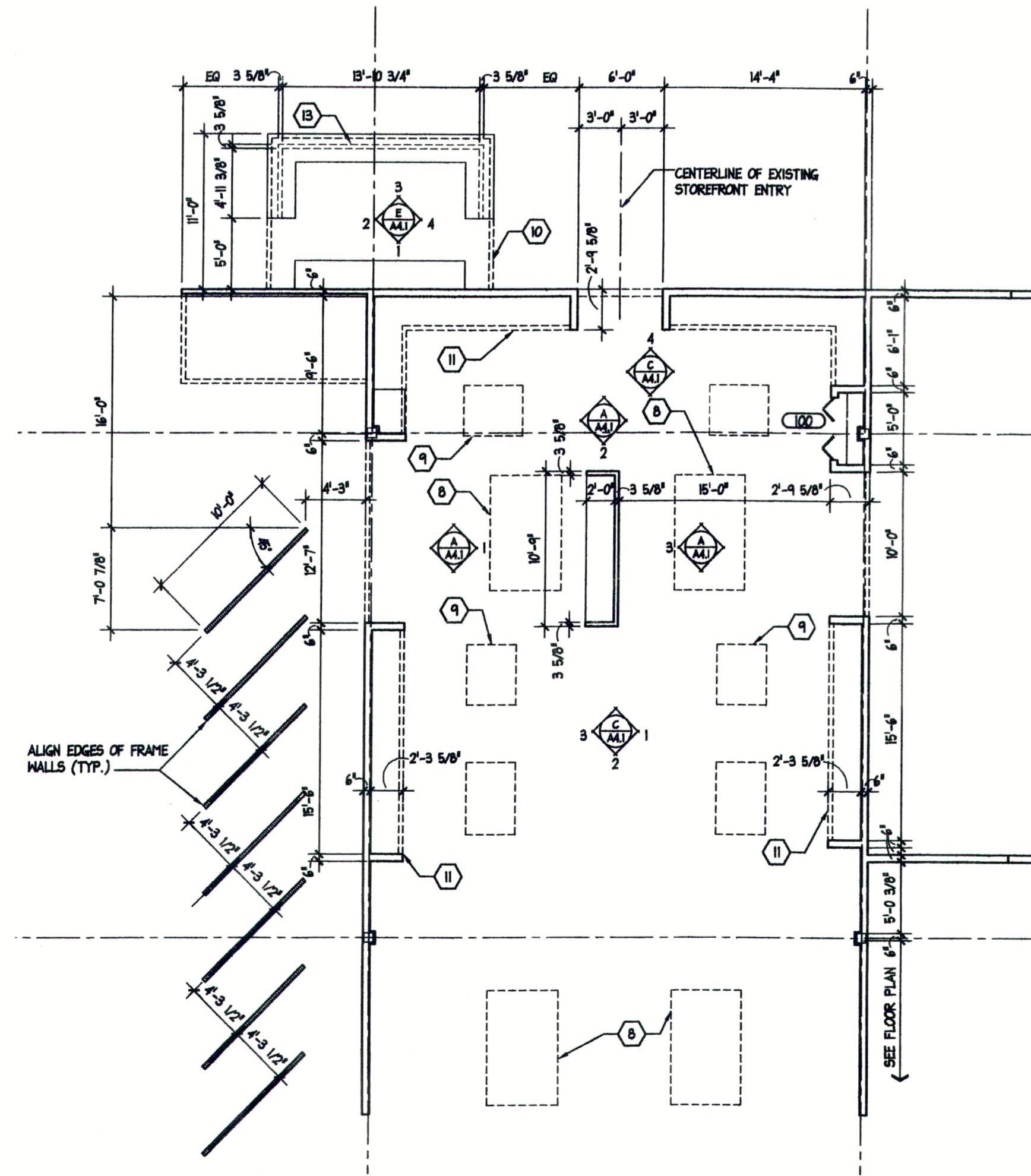
SHEET NUMBER:

**PARTITION LEGEND**

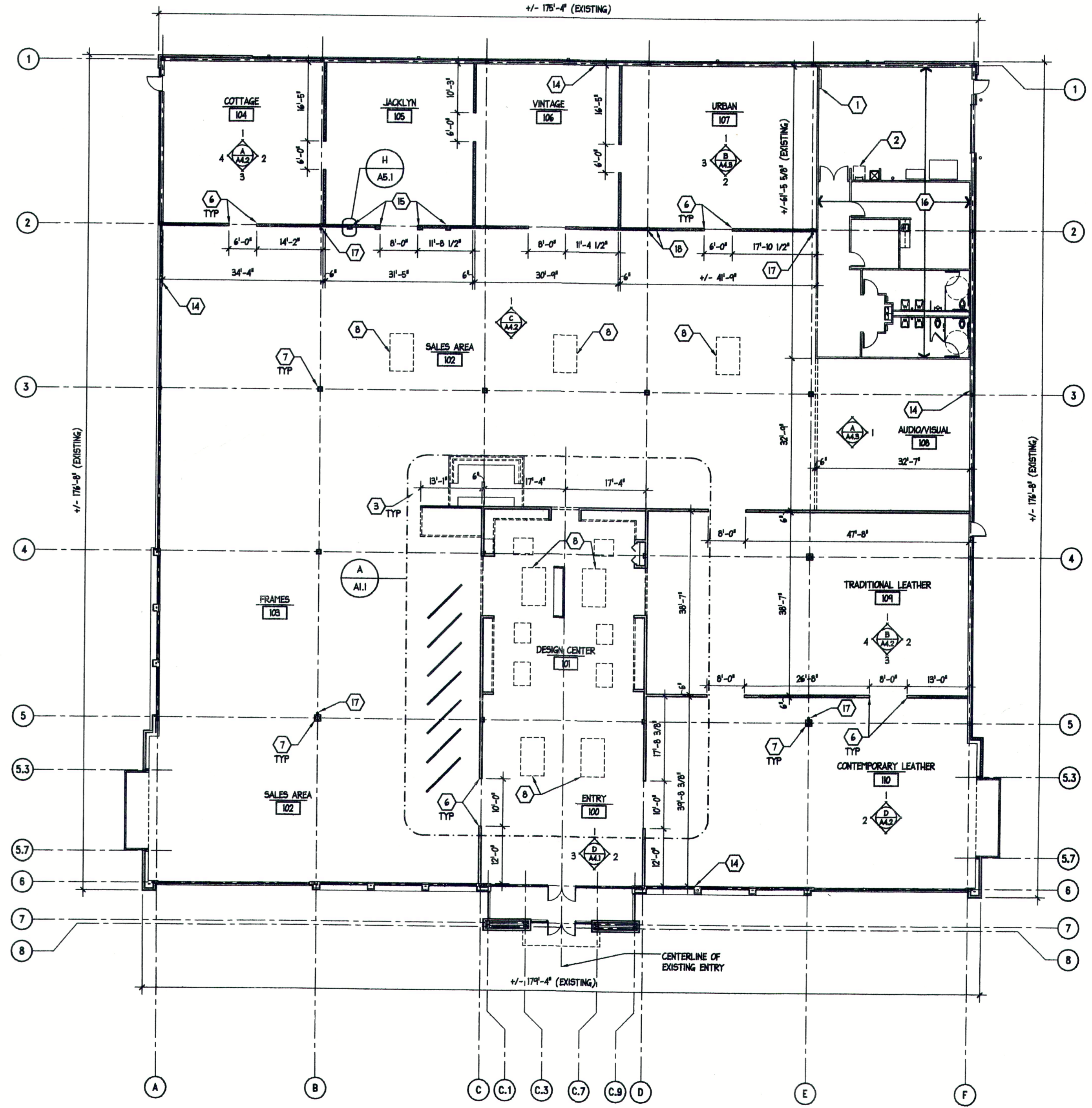
- TYPICAL PARTITION WALL - 5/8" GYP. BD. ON EACH SIDE OF 3-5/8" OR 6" x 22 GA. METAL STUDS @ 16" O.C. EXTEND METAL STUDS AND GYP. BD. TO STRUCTURE ABOVE. REFER TO PLAN AND INTERIOR ELEVATIONS FOR AREAS WHERE PARTITION DOES NOT EXTEND TO STRUCTURE AND EXACT SIZE OF PARTITION.
- ===== EXISTING EXTERIOR BRICK VENEER WALL TO REMAIN.
- ===== EXISTING MTL STUD WALL TO REMAIN.
- ===== TYPICAL PARTITION WALL - 5/8" GYP. BD. OVER 1/4" F.R.T. PLYWOOD EACH SIDE OF 3-5/8" MTL STUDS EXTEND TO LAY-IN CEILING ABOVE.

**CODED FLOOR PLAN NOTES**

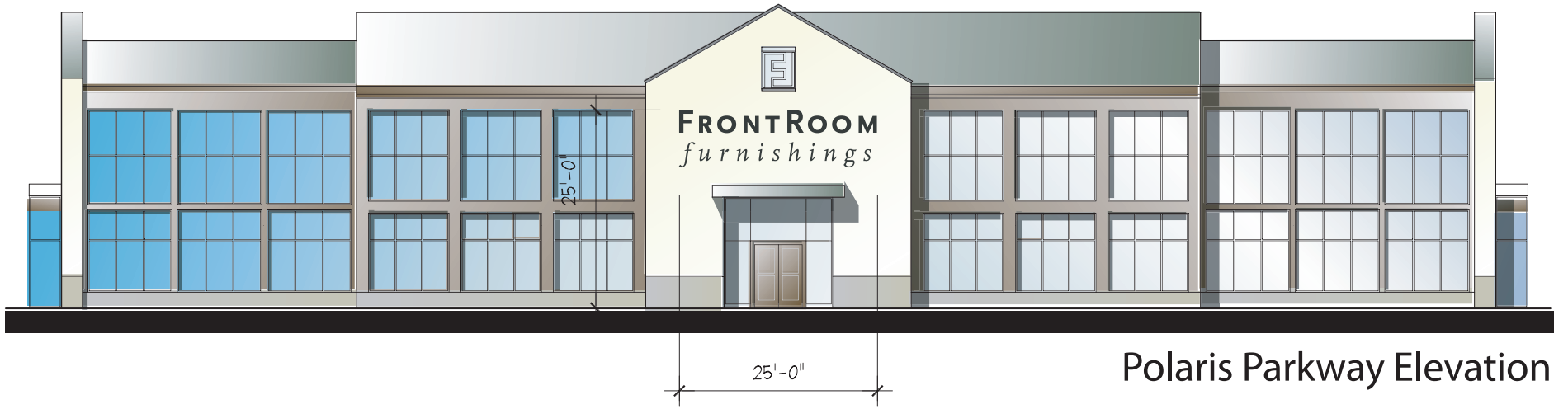
- 1 EXISTING ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR EXACT CONFIGURATION.
- 2 EXISTING ROOF HATCH AND LADDER
- 3 LINE OF SOFFIT ABOVE. REFER TO DETAIL D/A3.1
- 4 COUNTERTOP REFER TO DETAIL E/A4.1 FOR EXACT CONFIGURATION
- 5 ALIGN FACE OF NEW PARTITION WITH THE EXISTING FACE OF WALL SO THAT THERE IS A CLEAN SMOOTH TRANSITION
- 6 INSTALL CORNER GUARDS AT ALL CORNER LOCATIONS
- 7 EXISTING COLUMN TO BE WRAPPED W/ 5/8" GYP. BD. ON MTL STUDS. REFER TO DETAIL G/A5.1
- 8 EXISTING SKYLIGHT ABOVE SHOWN DASHED.
- 9 TENANT FIXTURES SHOWN FOR REFERENCE ONLY. TO BE INSTALLED BY TENANT.
- 10 LINE OF SOFFIT ABOVE- REFER TO DETAIL E/A3.1
- 11 LINE OF SOFFIT ABOVE- REFER TO DETAIL B/A3.1
- 12 EXISTING COLUMN TO BE WRAPPED W/ 5/8" GYP. BD. ON MTL STUDS. EXTEND STUDS TO ADJACENT WALL.
- 13 PLAN COUNTERTOP W/ MTL STUD SUPPORT WALL BELOW BY TENANT
- 14 FACE OF EXISTING STUDS
- 15 NOTCHES INDICATE TENANT CASEWORK TO BE PROVIDED AND INSTALLED BY TENANT
- 16 WORK IN THIS AREA PART OF SHELL CONTRACT
- 17 EXISTING FIRE EXTINGUISHER TO BE RELOCATED TO NEW LOCATION
- 18 ALIGN FACE OF STUD W/ FACE OF COLUMN
- 19 PROVIDE LINTEL SUPPORT AT CENTER OF SPAN. 3 5/8" MTL STUDS W/ 5/8" GYP. BD. ON EITHER SIDE



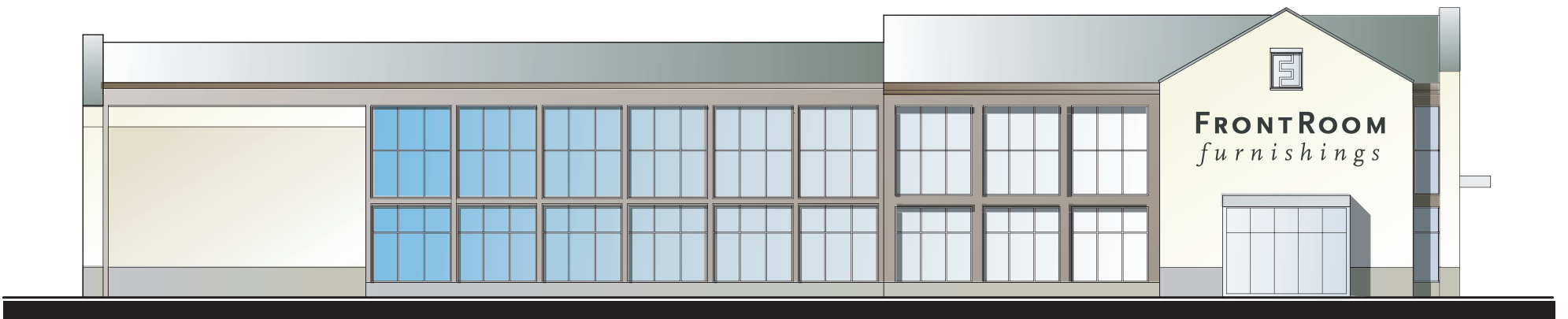
**A ENLARGED PLAN**  
(DESIGN CENTER)  
1/8"=1'-0"



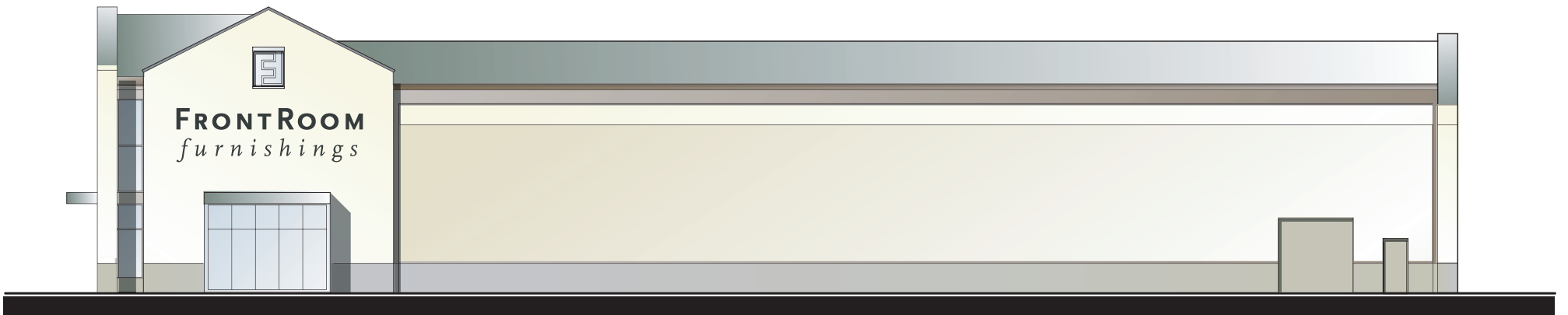
**FLOOR PLAN**  
1/16"=1'-0"



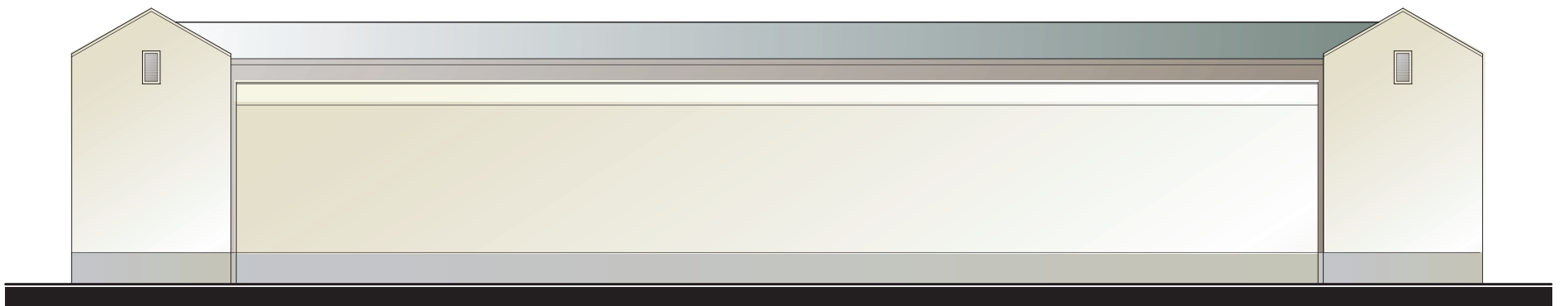
Polaris Parkway Elevation



Antares Ave. Elevation



Side Elevation

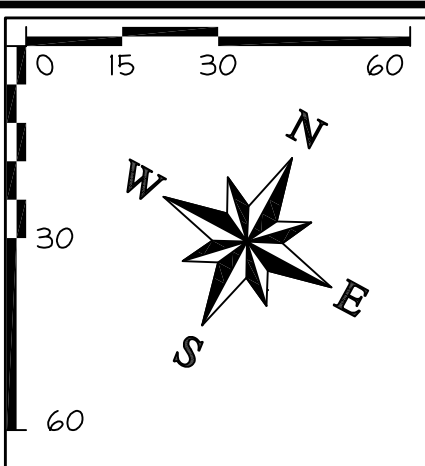


Rear Elevation

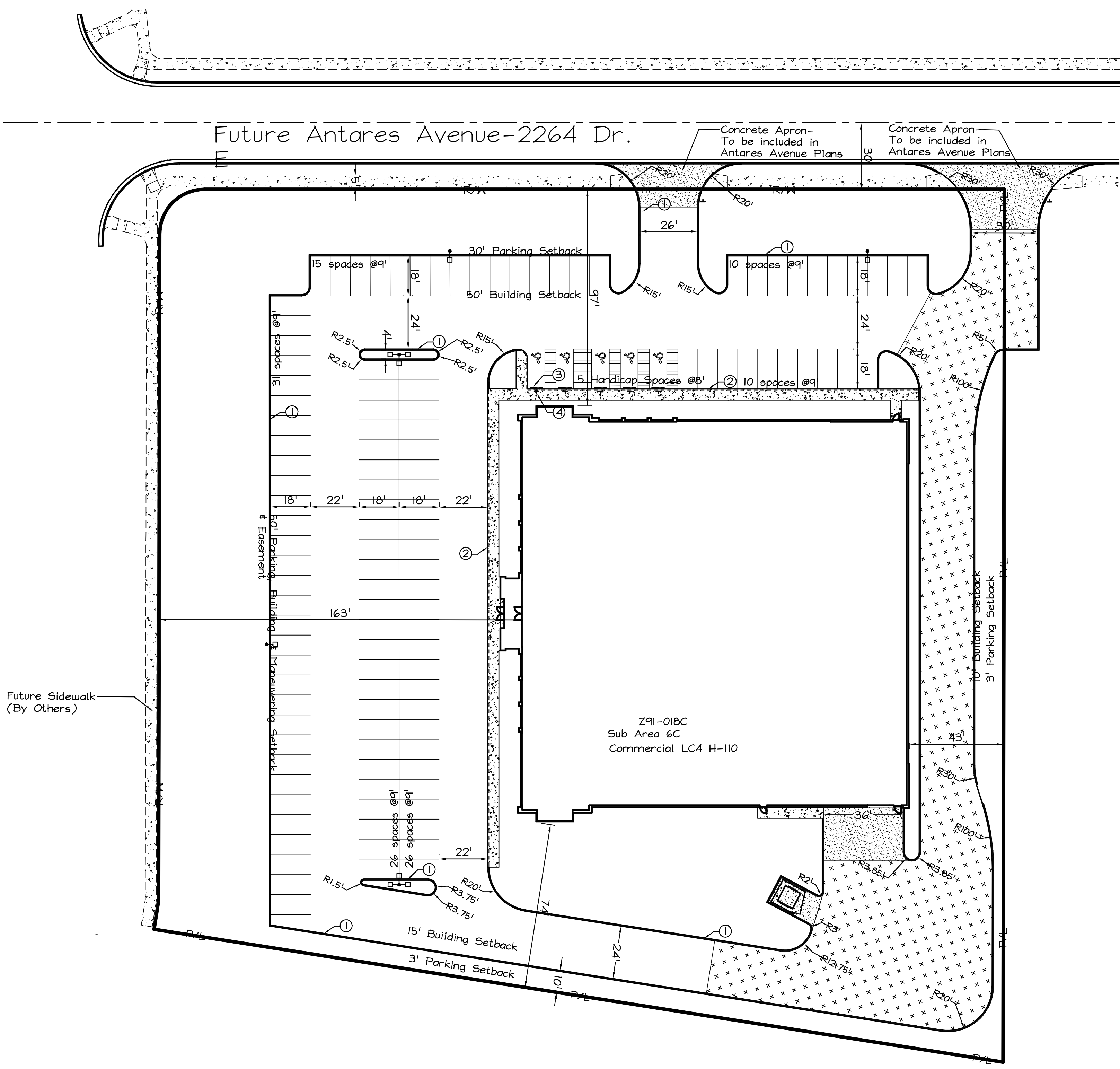


Proposed Store  
at Polaris Parkway & Antanres Ave.  
Columbus, Ohio  
7 July 2005





Polaris Parkway



**Pavement Table**

	Composition	Regular Duty	Heavy Duty
Item 404	Asphalt Concrete, AC-20 Surface Course	1 1/2"	1 1/2"
Item 402	Asphalt Concrete, AC-20 Intermediate Course	1 1/2"	2 1/2"
Item 304	Aggregate Base	6"	8"
Item 452	Concrete Pavement	6"	-

**Coded Notes**

- ① Extruded Curb Type 2, See Detail Sheet C5.2.
- ② Curb and Walk See Detail Sheet C5.2.
- ③ Bumper Block, see detail sheet C5.2.
- ④ Handicap Van Parking Sign, see detail sheet C5.2.
- ⑤ White handicap symbol, set detail sheet C5.2

**Notes**

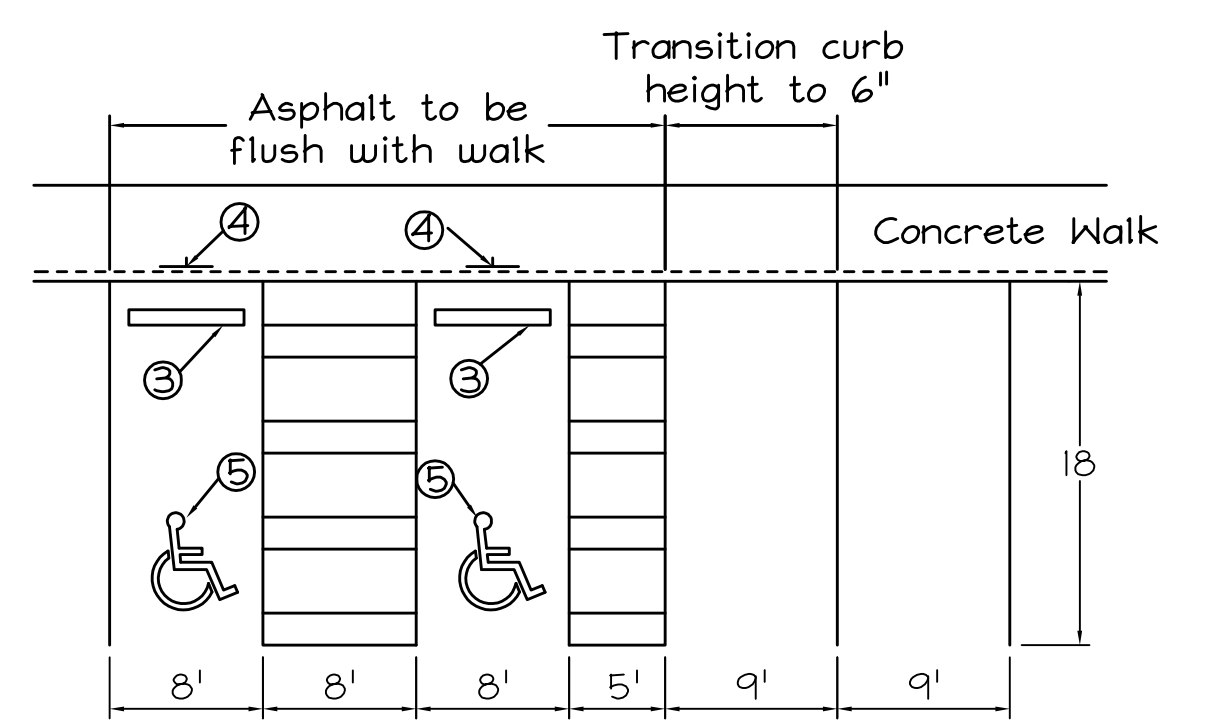
- 1. All radii shown on plans are face of curb
- 2. All radii are 4' unless otherwise noted.

**Standard Drawings**

The Standard Drawings listed below shall be considered a part of this plan.  
City of Columbus  
2220 Dr.A

**Legend**

- Concrete Walk/
- Regular Duty Pavement
- Heavy Duty Pavement
- Concrete Pavement

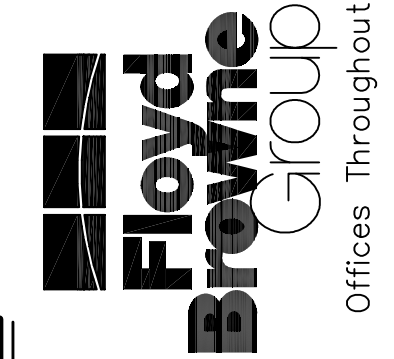


**Parking Space Detail**  
Not to Scale

SCALE:	1"=30'
PROJ. NO:	666401
FILE NAME:	66401 BM01
DRAWN BY:	MWM
CHECKED BY:	JLR
DATE ISSUED:	7-15-05
REVISED:	10-6-05

**Front Room Furnishings  
940 Polaris Parkway  
Layout Plan**

9015 Antares Avenue  
Columbus, Ohio 43240  
Central Ohio  
T: 614.433.9015  
F: 614.433.9513  
www.floydbrowne.com



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